

THATCHER UNIFIED SCHOOL DISTRICT NO. 4  
ROOF RESTORATION AND BUILDING WEATHERIZATION  
THATCHER HIGH SCHOOL  
601 NORTH THIRD AVENUE, THATCHER, ARIZONA 85552  
NOVEMBER, 2019



AERIAL

PROJECT SCOPE:

THIS PROJECT INVOLVES WORK AT THE THATCHER HIGH SCHOOL BUILDING.

CLEAN ALL EXTERIOR SURFACES, INCLUDING CONCRETE, MASONRY, METAL, GYPSUM BOARD AND LOW SLOPE ROOF SURFACES.

REMOVE ALL BUILDING SEALANTS INCLUDING THOSE AT ALL EXPANSION AND CONSTRUCTION JOINTS, WINDOW AND DOOR FRAMES, SHEET METAL AND FLASHING JOINTS, PENETRATIONS AND ANY OTHER SEALANTS WHERE THEY OCCUR. CLEAN, REPAIR AND PREP JOINTS AND CRACKS, APPLY NEW BACKER ROD AND SEALANT.

EXCAVATE TOP THREE INCHES OF SOIL ADJACENT TO WALLS FOR APPLICATION OF COATING TO WALLS. REGRADE FOR POSITIVE DRAINAGE AFTER APPLICATION AND CURE OF COATING.

REPAIR, PREPARE, BLOCKFILL AND COAT ALL CONCRETE MASONRY SURFACES.

PREPARE AND PAINT ALL STEEL, STEEL DOORS, STEEL GATES, STEEL COLUMNS, STEEL FRAMES, FERROUS METAL DOWNSPOUTS, METAL TRIM, METAL FASCIA AND EXPOSED FLASHINGS, HANDRAILS, FREE STANDING CANOPY STRUCTURES AND FACTORY FINISHED METAL ROOF OR FACTORY FINISHED FASCIA PANELS EXCLUDED.

PREPARE, REPAIR, SPOT PRIME AND PAINT ALL PAINTABLE EXTERIOR HORIZONTAL BUILDING SURFACES SUCH AS EXTERIOR SOFFITS AND CEILING.

REPLACE EXISTING ELECTRICAL WHIPS AND CONDENSATE PIPING WITH NEW AT ALL ROOF TOP MECHANICAL UNITS.

PROVIDE A THIRD PARTY TESTING FIRM TO CONDUCT ROOF PULL TESTS TO VERIFY TENSILE INTEGRITY AND COMPLIANCE WITH ALL WIND UPLIFT REQUIREMENTS.

LOW SLOPE ROOF AREAS: REMOVE EXISTING BALLASTED BUILT-UP ROOF SYSTEM TO THE STRUCTURAL DECK. INSPECT AND REPAIR DECK AS NECESSARY. INSTALL NEW WATER TIGHT MODIFIED BITUMEN ROOF SYSTEM INCLUDING COVER BOARD, RIGID INSULATION AND WALK PADS. INSTALL NEW TERMINATIONS, FLASHINGS AND TRIM. ASSURE POSITIVE DRAINAGE THROUGHOUT. VERIFY THAT ROOF CURBS COMPLY WITH ROOF SYSTEM WARRANTY REQUIREMENTS; ADJUST IF NECESSARY. LIFT MECHANICAL UNITS FOR PROPER TERMINATION OF NEW ROOF SYSTEM. A TWENTY YEAR MANUFACTURER'S MATERIAL WARRANTY AND A TWO YEAR CONTRACTOR'S WARRANTY ARE REQUIRED.

REMOVE AND REINSTALL ALL BUILDING MOUNTED SIGNS FOR COATING OF EXTERIOR WALLS.

APPROPRIATE TRADES PERSON TO MODIFY OR EXTEND ANY MECHANICAL, ELECTRICAL, PLUMBING, CCTV, TELEPHONE, ANTENNAE, SOUND, OR LIGHTING FACILITIES, ETC. FOUND TO OBSTRUCT THE WORK OF THIS PROJECT.

THE PROJECT WILL TAKE PLACE DURING THE SCHOOL YEAR WHILE THE CAMPUS IS OCCUPIED.

PROJECT TEAM

BUILDING OWNER:  
THATCHER UNIFIED SCHOOL DISTRICT NO. 4  
3490 WEST MAIN STREET  
THATCHER, ARIZONA 85552

SCHOOL FACILITIES BOARD:  
DAVE KENNON, LIASON  
CAPITOL WEST TOWER  
1700 W. WASHINGTON ST SUITE 104  
PHOENIX, AZ 85007  
(602) 364-0538

ROOFING CONSULTANT  
REDTREE CONSULTING  
MIKE CROW  
(602) 989-2433

ARCHITECT:  
ROBERT POLCAR ARCHITECTS, INC.  
KIRBY SPITLER, A.I.A.  
(602) 317-7209

DRAWING LIST:

A0 PROJECT INFORMATION  
A1.1 FLOOR PLAN  
A1.2 ROOF PLAN  
A2.1 EXTERIOR ELEVATIONS  
A3.1 BUILDING SECTIONS  
A4.1 DETAILS

NOTE:

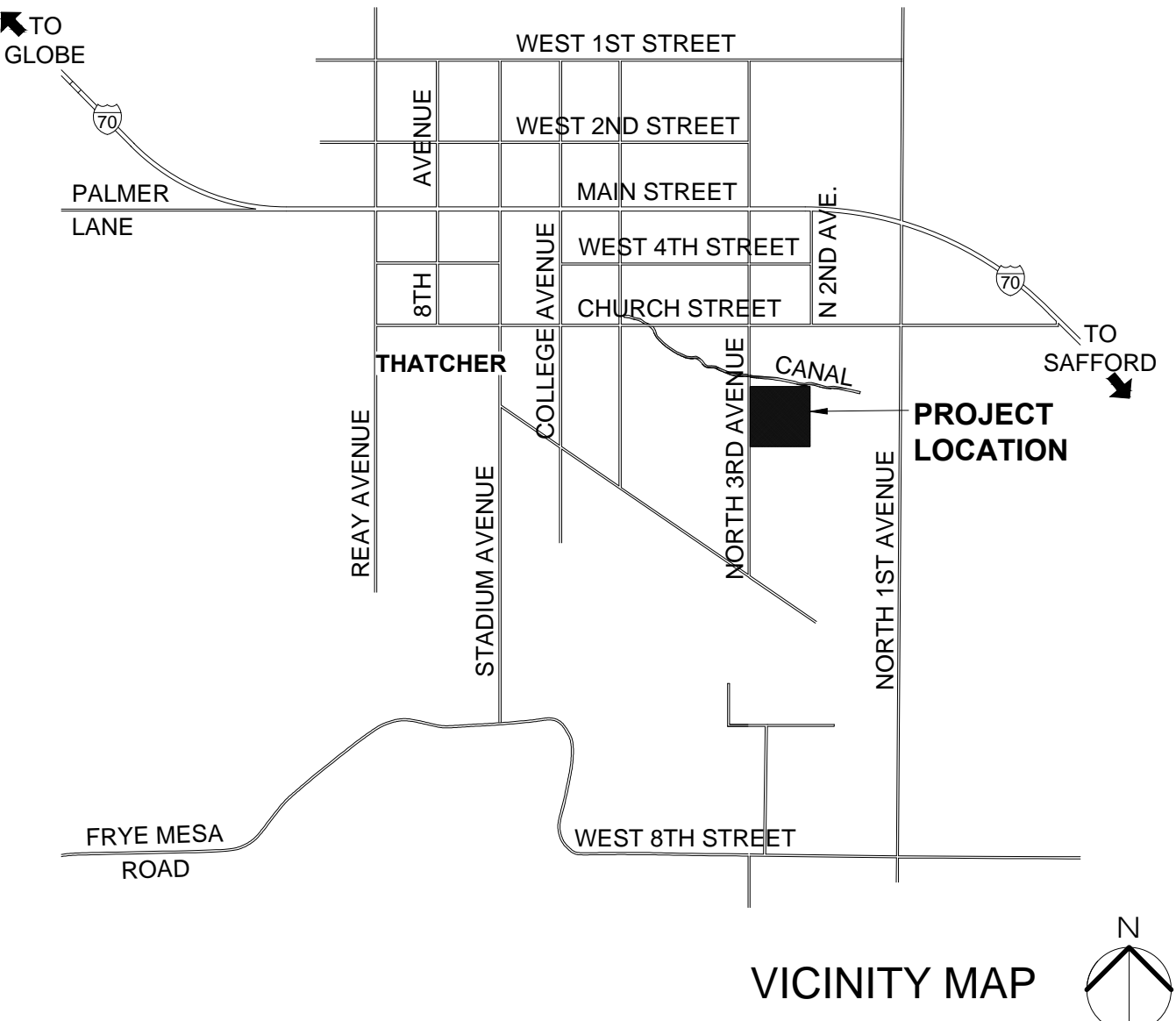
FIELD VERIFY ALL QUANTITY TAKE-OFFS AND CONDITIONS. ALL DIMENSIONS ARE APPROXIMATE. DO NOT SCALE DRAWINGS.

PROJECT ADDRESS:

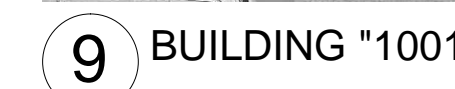
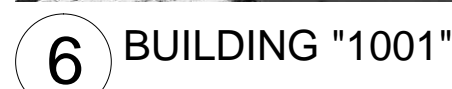
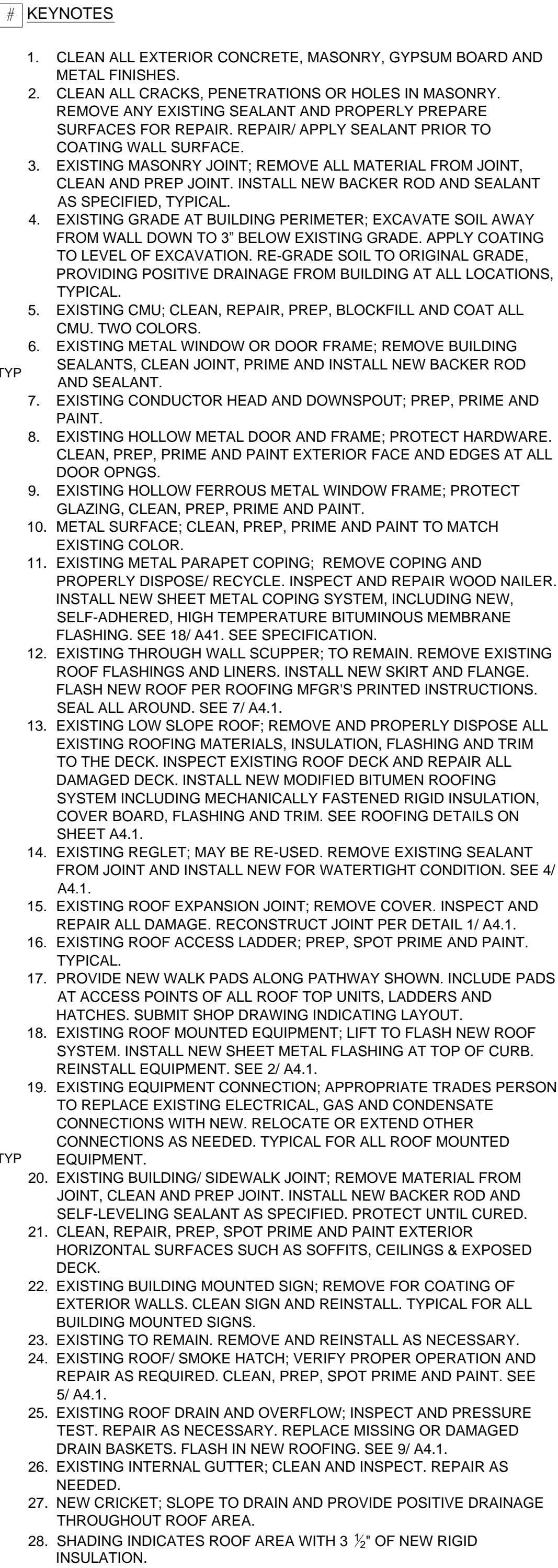
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APPLICABLE CODES:

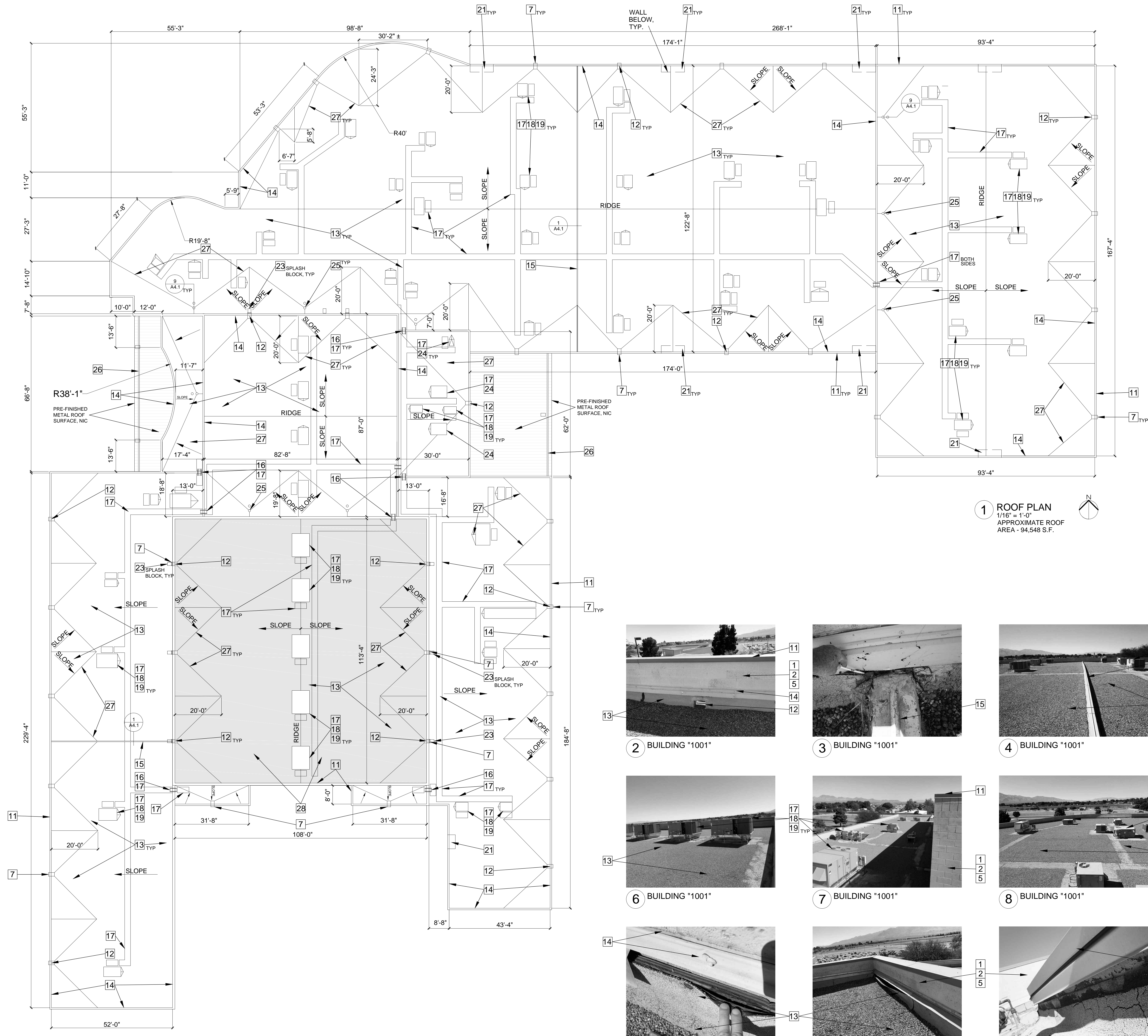
ALL WORK OF THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE (IBC) AND THE 2012 INTERNATIONAL FIRE CODE (IFC).



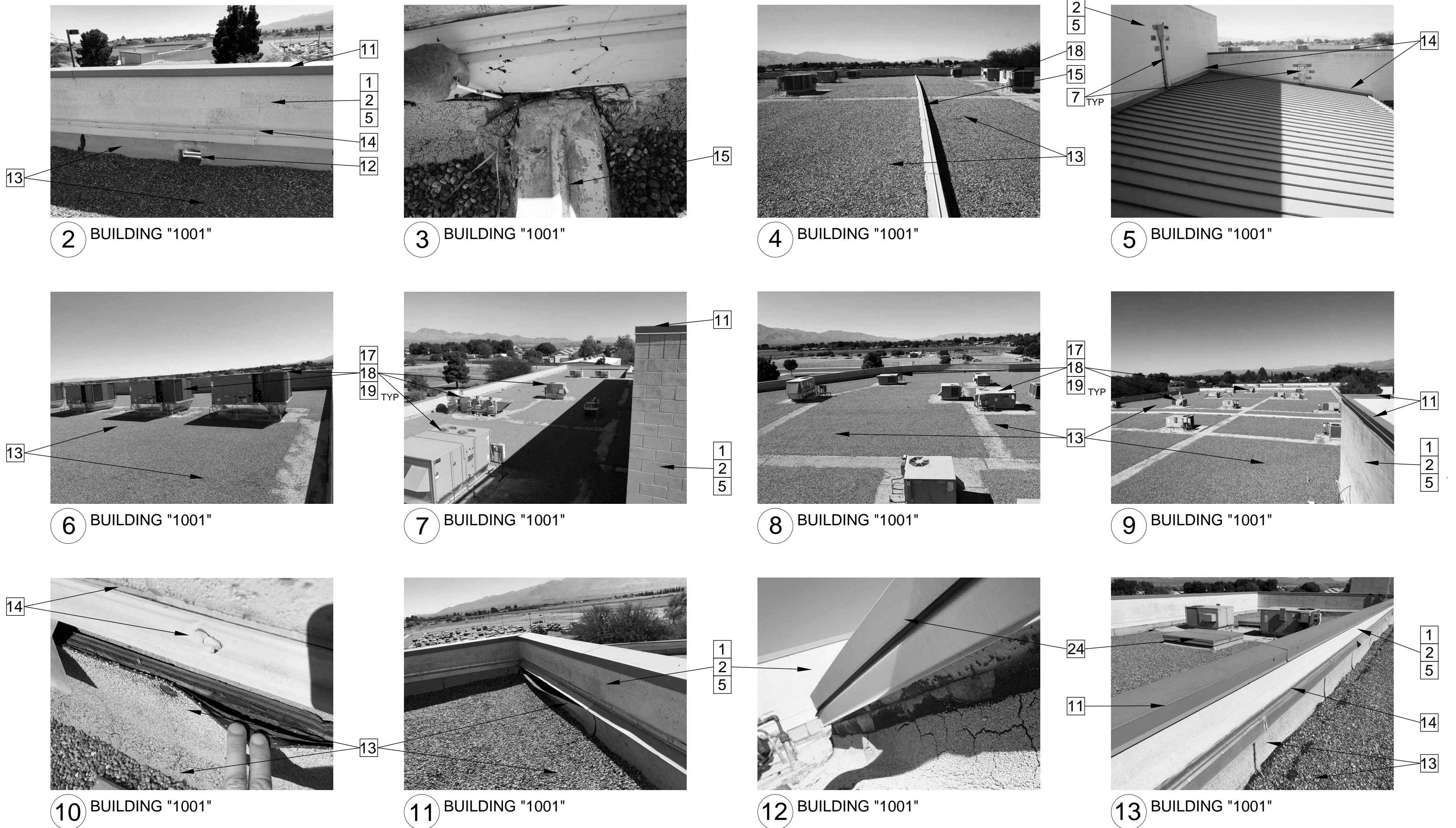








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  - CLEAN ALL CRACKS, PENETRATIONS OR HOLES IN MASONRY. REMOVE ANY EXISTING SEALANT AND PROPERLY PREPARE SURFACES FOR REPAIR. REPAIR/ APPLY SEALANT PRIOR TO COATING WALL SURFACE.
  - EXISTING MASONRY JOINT; REMOVE ALL MATERIAL FROM JOINT. CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SEALANT AS SPECIFIED, TYPICAL.
  - EXISTING GRADE AT BUILDING PERIMETER; EXCAVATE SOIL AWAY FROM WALL DOWN TO 3" BELOW EXISTING GRADE. APPLY COATING TO LEVEL OF EXCAVATION. RE-GRADE SOIL TO ORIGINAL GRADE. PROVIDING POSITIVE DRAINAGE FROM BUILDING AT ALL LOCATIONS, TYPICAL.
  - EXISTING CMU; CLEAN, REPAIR, PREP, BLOCKFILL AND COAT ALL CMU. TWO COLORS.
  - EXISTING METAL WINDOW OR DOOR FRAME; REMOVE BUILDING SEALANTS. CLEAN JOINT. PRIME AND INSTALL NEW BACKER ROD AND SEALANT.
  - EXISTING CONDUCTOR HEAD AND DOWNSPOUT; PREP, PRIME AND PAINT.
  - EXISTING HOLLOW METAL DOOR AND FRAME; PROTECT HARDWARE. CLEAN, PREP, PRIME AND PAINT EXTERIOR FACE AND EDGES AT ALL DOOR OPNGS.
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  - METAL SURFACE; CLEAN, PREP, PRIME AND PAINT TO MATCH EXISTING COLOR.
  - EXISTING METAL PARAPET COPING; REMOVE COPING AND PROPERLY DISPOSE/ RECYCLE. INSPECT AND REPAIR WOOD NAILER. INSTALL NEW SHEET METAL COPING SYSTEM, INCLUDING NEW, SELF-ADHERED, HIGH TEMPERATURE BITUMINOUS MEMBRANE FLASHING. SEE 18/ A4.1. SEE SPECIFICATION.
  - EXISTING THROUGH WALL SCUPPER; TO REMAIN. REMOVE EXISTING ROOF FLASHINGS AND LINERS. INSTALL NEW SKIRT AND FLANGE. FLASH NEW ROOF PER ROOFING MFG'S PRINTED INSTRUCTIONS. SEAL ALL AROUND. SEE 7/ A4.1.
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  - EXISTING ROOF ACCESS LADDER; PREP, SPOT PRIME AND PAINT. TYPICAL.
  - PROVIDE NEW WALK PADS ALONG PATHWAY SHOWN. INCLUDE PADS AT ACCESS POINTS OF ALL ROOF TOP UNITS, LADDERS AND HATCHES. SUBMIT SHOP DRAWING INDICATING LAYOUT.
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**14997**  
**ROBERT J. POLCAR**  
**11/19/19**  
**Professional Engineer**  
**Arizona**

EXPIRES 12/31/21  
Revision      Revision Date

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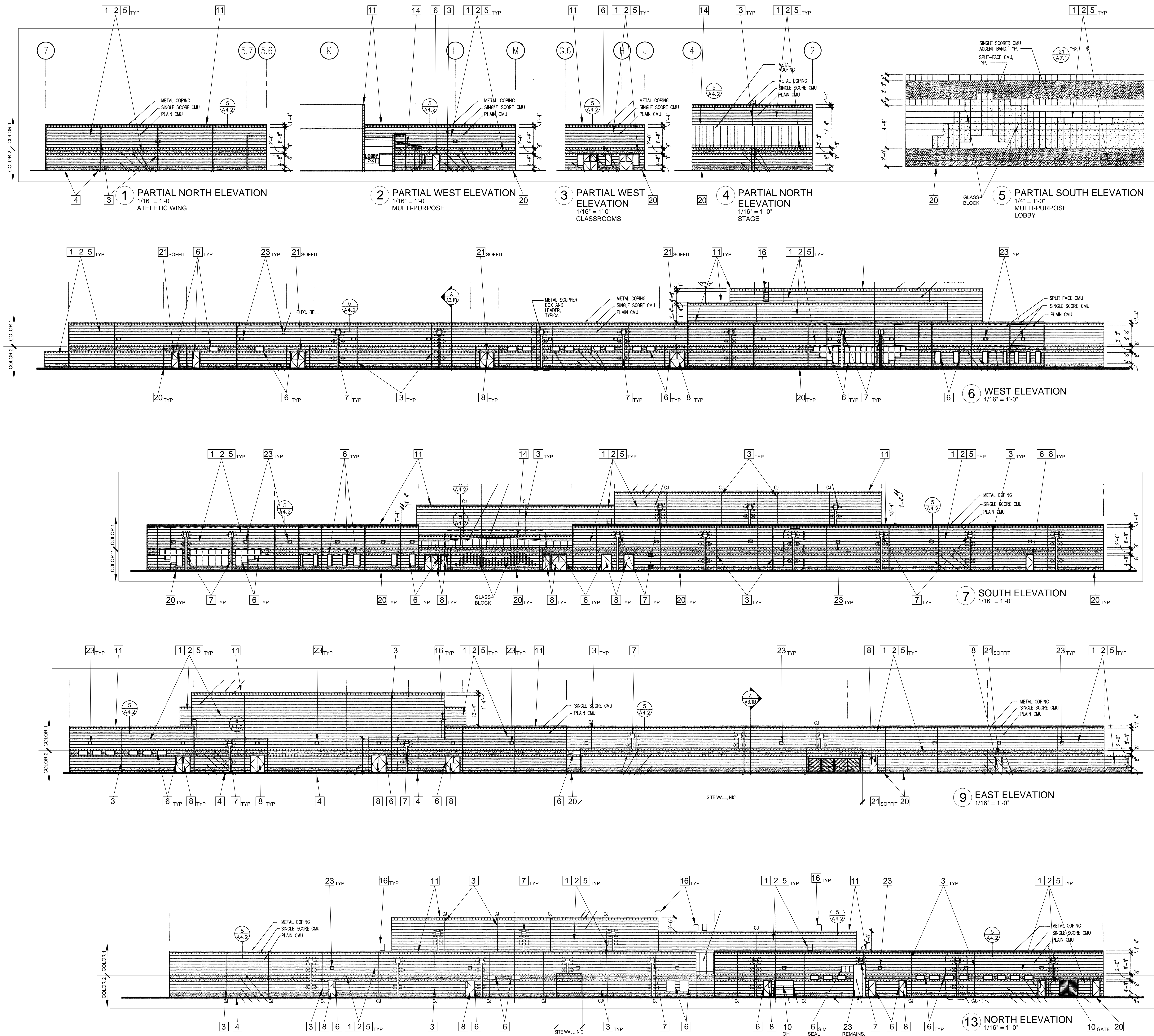
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**BP**

Sheet Size  
**ARCH E1 30"x42"**

**A1.2**  
ROOF PLAN





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**NOTE:** THE DRAWINGS INSIDE THE RECTANGLES ARE REFERENCE DRAWINGS AND ARE ORIGINAL CONSTRUCTION DOCUMENTS PREPARED BY THE STICHLER DESIGN GROUP, INC., FOR THE EXISTING BUILDING. THESE DRAWINGS ARE INCLUDED FOR REFERENCE ONLY TO INDICATE LOCATIONS AND QUANTITIES OF ORIGINAL CONSTRUCTION.

**NEW WORK** IS DESIGNATED BY THE KEYNOTES LOCATED OUTSIDE OF THE POLYGONS.

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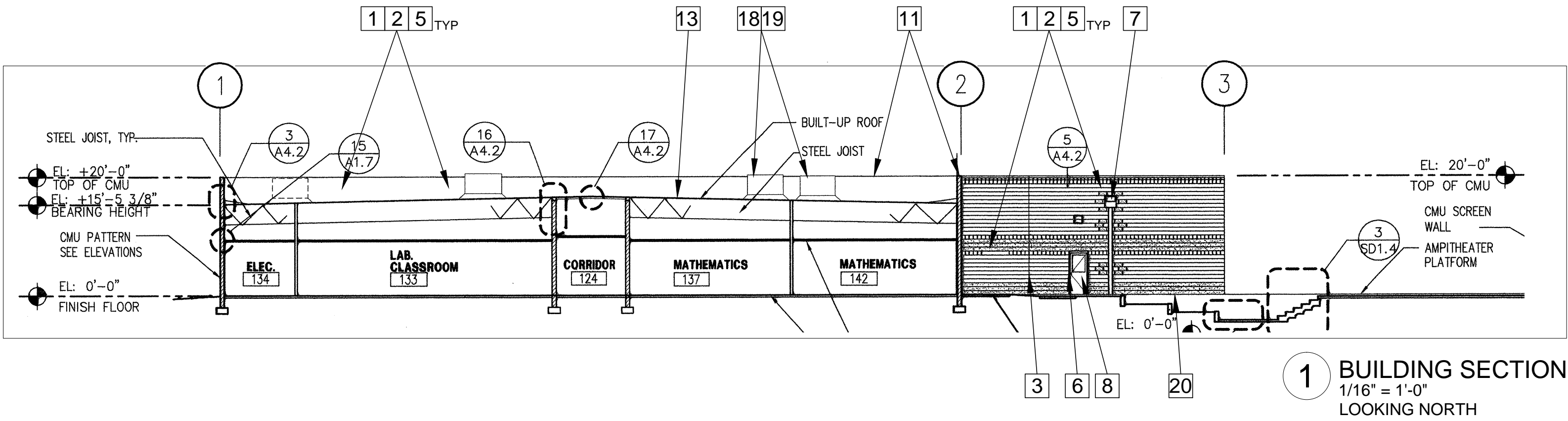
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**A2.1**  
BUILDING ELEVATIONS

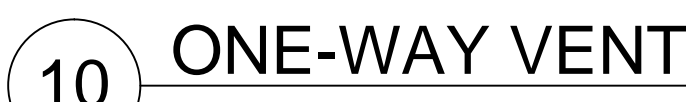
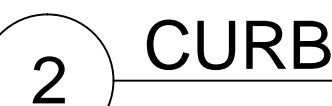


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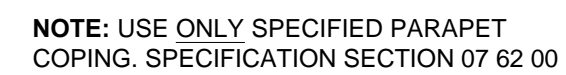






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11. EXISTING THROUGH WALL SCUPPER; TO REMAIN. REMOVE EXISTING ROOF FLASHING AND LINERS. INSTALL NEW SKIRT AND FLANGE. FLASH NEW ROOF PER ROOFING MFG'S PRINTED INSTRUCTIONS. SEAL ALL AROUND. SEE 7 /A4.1.
12. EXISTING LOW SLOPE ROOF; REMOVE AND PROPERLY DISPOSE ALL EXISTING ROOFING MATERIALS, INSULATION, FLASHING AND TRIM TO THE DECK. INSPECT DECK FOR DAMAGE. REPAIR AND PATCH DAMAGE TO DECK. INSTALL MODIFIED BITUMEN ROOFING SYSTEM INCLUDING MECHANICALLY FASTENED RIGID INSULATION, COVER BOARD, FLASHING AND TRIM. SEE ROOFING DETAILS ON

14. EXISTING REGLET; MAY BE RE-USED. REMOVE EXISTING SEALANT FROM JOINT AND INSTALL NEW JOINT FOR WATERTIGHT CONDITION. SEE 4/ A4.1.
15. EXISTING ROOF EXPANSION JOINT; REMOVE COVER. INSPECT AND REPAIR ALL DAMAGE. RECONSTRUCT JOINT PER DETAIL 1/ A4.1.
16. EXISTING ROOF ACCESS LADDERS, STAIRS AND PAINT. TYPICAL.
17. PROVIDE NEW WALK PADS ALONG PATHWAY SHOWN. INCLUDE PADS AT ACCESS POINTS OF ALL ROOF TOP UNITS, LADDERS AND HATCHES. SUBMIT SHOP DRAWING INDICATING LAYOUT.
18. EXISTING ROOF MOUNTED EQUIPMENT; LIFT TO FLASH NEW ROOF SYSTEM.
19. INSTALL NEW SHEET METAL FLASHING AT TOP OF CURB. REINSTATE EQUIPMENT. SEE 2/ A4.1.
20. EXISTING EQUIPMENT CONNECTION; APPROPRIATE TRAVERSE PERSON TO REPLACE EXISTING ELECTRICAL, GAS AND CONDENSATE CONNECTIONS WITH NEW. RELOCATE OR EXTEND OTHER CONNECTIONS AS NEEDED. TYPICAL FOR ALL ROOF MOUNTED EQUIPMENT.
21. EXISTING BUILDING SIDEWALK JOINT; REMOVE MATERIAL FROM JOINT, CLEAN AND PREP JOINT. INSTALL NEW BACKER ROD AND SELF-LEVELING SEALANT AS SPECIFIED. PROTECT UNTIL CURED.
22. CLEAN, REPAIR, PREP, SPOT PRIME AND PAINT EXTERIOR HORIZONTAL SURFACES SUCH AS EIFFETS, GUTTERS AND EXPOSED DECK.
23. EXISTING BUILDING MOUNTED SIGN; REMOVE FOR COATING OF EXTERIOR WALLS. CLEAN SIGN AND REINSTALL. TYPICAL FOR ALL BUILDING MOUNTED SIGNS.
24. EXISTING TO REMAIN. REMOVE AND REINSTALL AS NECESSARY.
25. EXISTING ROOF SMOKE EXHAUST; VERIFY PROPER OPERATION AND REPAIR AS REQUIRED. CLEAN, PREP, SPOT PRIME AND PAINT. SEE DETAIL 5/ A4.1.
26. EXISTING ROOF DRAIN AND OVERFLOW; INSPECT AND PRESSURE TEST. REPAIR AS NECESSARY. REPLACE MISSING OR DAMAGED DRAIN BASKETS. FLASH IN NEW ROOFING. SEE DETAIL 5/ A4.1.
27. EXISTING DRAIN GUTTER; CLEAN AND INSPECT. REPAIR AS NEEDED.
28. NEW CRICKET; SLOPE TO DRAIN AND PROVIDE POSITIVE DRAINAGE THROUGHOUT ROOF AREA.
29. SHADING INDICATES ROOF AREA WITH 3 1/2" OF NEW RIGID INSULATION.



## 18 PARAPET COPING

