



PROVIDING START TO FINISH  
**C**OMPREHENSIVE  
**P**ROJECT  
**M**ANAGEMENT





# DAY CPM: OUR HISTORY



During his years of experience with a large, northwest general contractor, Mike Day recognized a need for comprehensive owner's representation on construction projects. Out of this realization, Mike founded DAY & Associates CPM in 2002. In 2004, the company underwent a rebranding and the name was changed to DAY CPM Services. Joshua Dodson joined the company with a strong background in project management and owner's representation in 2009. His reputation for delivering highly complex projects on time and within budget made him a perfect fit.

Today, under Mike and Joshua's leadership, DAY CPM has grown and currently manages multiple high-value, capital improvement, and new construction projects throughout the Pacific Northwest.

# DAY CPM: OUR MISSION

DAY CPM provides high integrity leadership, always acting from the Customer's perspective

## CORE VALUES

Integrity

Innovation

Excellence

Service

# KEY PERSONNEL & STAFFING

## DAY CPM CORE TEAM

**MIKE DAY**  
Bond Program Manager



**MITALI KULKARNI**  
Project Manager



**JOSHUA DODSON**  
K-12 Resource

## TECHNICAL RESOURCE POOL

### Resilience



**Kent Yu**  
Seismic & Tsunami  
Resource

### Sustainability



**Vai Potnis**  
Sustainability,  
Engineering and  
Commissioning

### Public Outreach



**Ron White**  
Community  
Outreach

### Project Management Support



**Dave Wang**  
Site Representative



**Shannon Earley**  
Project Assistant



# EXPERIENCE WITH K-12 PROJECTS



Hillsboro School District  
Patterson Elementary



Medford School District - South Medford High School



Reynolds School District – Reynolds Middle School



Oregon City School District – Oregon City High School



Newberg School District- Mabel Rush Elementary



North Clackamas School District- Ardenwald Elementary

# WHAT IS DAY CPM?

We are Owner's Representatives offering start to finish comprehensive project management

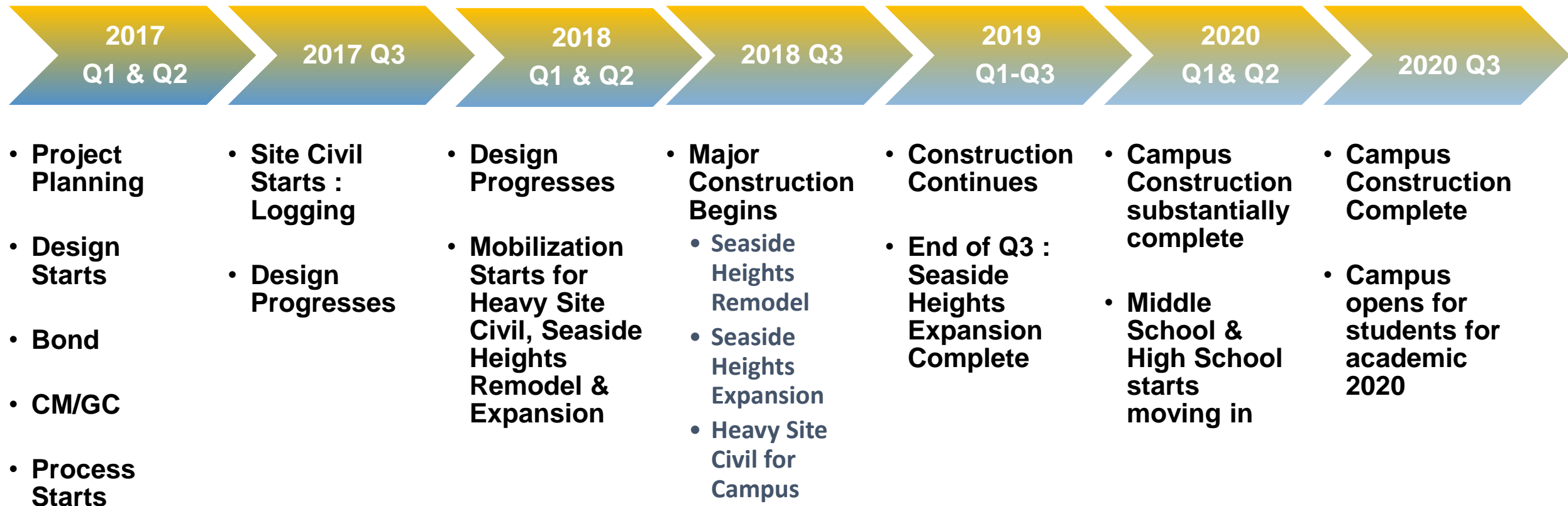
DAY CPM offers a full range of services:

- Program Management
- Project Management
- Owner's Representation
- Facilities Maintenance, Operations & Integration

*"Protecting public and private money is a passion for DAY CPM Services. What we do is manage and deliver projects successfully, so that our clients get the best value."*

— MIKE DAY, PRESIDENT, DAY CPM SERVICES

# SEASIDE SD 2016 – PROJECT TIMELINE



# THE DESIGN PROCESS

Ed Specs / Visioning

Master Planning

Schematic Design

Design Development

Construction Documents

Construction

## HIGHLIGHTS

- **SSD STAFF INVOLVMENT**
- **ENTHUSIASM** – Very Engaged in Process
- **PRAGMATIC APPROACH** – Recognition of Budget Implications
- **FORWARD THINKING APPROACH** – Looking to the Future - Not just planning for today



# DESIGN UPDATES

## AREA PROGRAM DEVELOPMENT

- Working with Ed Spec leadership committee
- Final area program at conclusion of planning phase

## EDUCATIONAL SPECIFICATIONS

- Focus Groups – Have met with HS, MS, ES staff
- DOWA-IBI developing room requirements and key adjacency diagrams

## NEXT STEPS

- Draft Ed Spec to SSD – February 27
- District comments to DOWA-IBI – March 6
- School Tours – March 10
- Design kick-off – March 13
- Design Summit – March 20

# COMMUNITY ENGAGEMENT STRATEGY

- Local, D/M/W/ESB Outreach commitment
- Community Engagement Program – Meet & Greet
- Impact Opportunity:
  - Contracting & Economic Development
  - Student Engagement
  - Social & Environmental
  - Partner Development
- Project website communications: Working on a SSD website portal
- Open house – Town Hall, neighborhood meetings

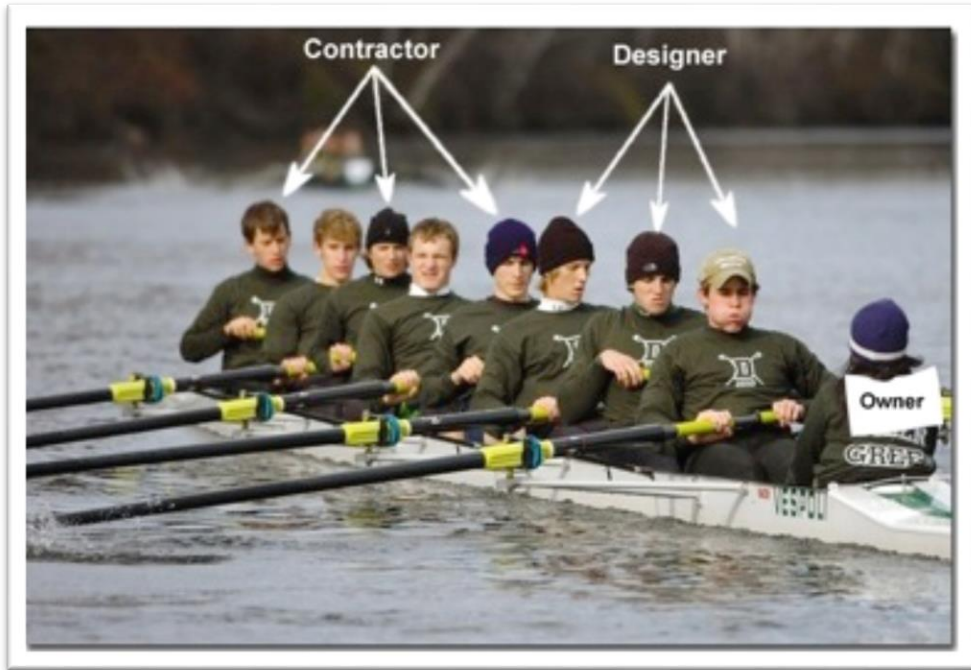
# UNDERSTANDING THE GUIDING PRINCIPLES OF CM/GC-COLLABORATIVE PROJECT DELIVERY

- Key participants bound together as equals Shared Risk & Reward
- Collaborative Decision Making
- Fiscal Transparency
- Eliminate Overlap in Services
- Early Involvement Key Participants
- Dynamic Cost Modeling





# CONSTRUCTION MANAGER/GENERAL CONTRACTOR (CM/GC)



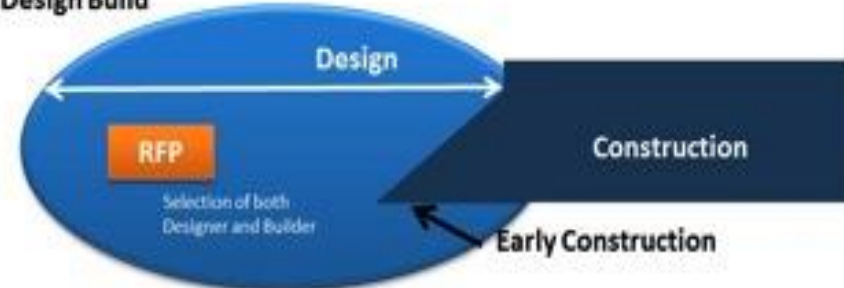
# ACCELERATED PROJECT DELIVERY COMPARISON

- **Design Bid Build (D-B-B)**
  - Low bid legacy delivery system
  - Agency responsible for errors and omissions
  - Prone to Litigation and claims
- **Design Build (D-B)**
  - Single point of responsibility contract
  - Minimal owner control
- **Construction Manager / General Contractor (CM/GC)**
  - Three way partnership - Collaborative
  - Owner led

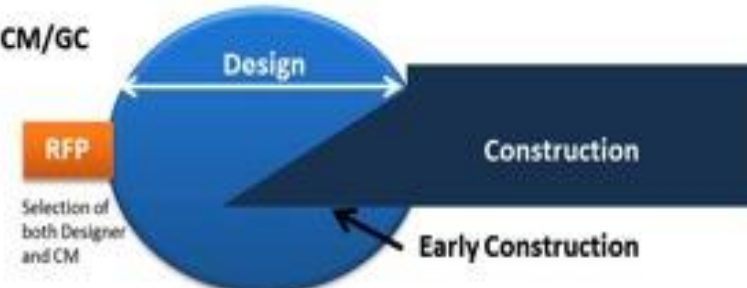
Traditional Design Bid Build



Design Build



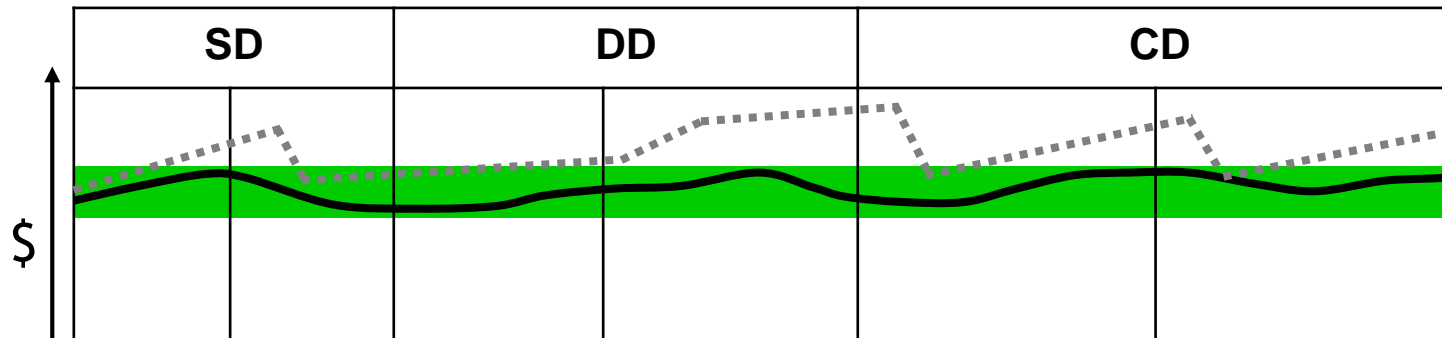
CM/GC



# CM/GC – COST CONTROL “REAL TIME”

## Target Value Design

- Estimate is continuously updated (usually one system at a time)
- Observe trends as well as actual costs
- Develop options for course corrections *before* you hit the rocks





# NEXT STEPS + QUESTIONS

- **FINDINGS OF FACT** – DRAFT, FOR EXEMPTION FROM COMPETITIVE BIDDING & USE OF CM/GC METHOD OF CONTRACTING
- **NOTICE OF PUBLIC HEARING** FOR EXEMPTION – ORS 279C.335(2)
  - **ORS 279C.335(2)** permits a local contract review board to exempt contracts from traditional competitive bidding upon approval of findings of fact showing that an alternative contracting process is unlikely to encourage favoritism or diminish competition and that the process will result in substantial cost savings to the School District.
- **Seaside School District holds public hearing** March 21<sup>st</sup> 2017
- **The CM/GC alternative contracting process is authorized** for procurement of construction services under ORS 279C.337 provided that the Local Contract Review Board approves an exemption from competitive bidding